



**Procurement Office**  
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Rochester, NY 14611  
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[WWW.ROCHESTERHOUSING.ORG](http://WWW.ROCHESTERHOUSING.ORG)

February 5, 2014

To: Contractors

RE: Rochester Housing Authority,  
**Parking Lot Improvements-Elmdorf Apts.**

**ADDENDUM #1**

Please find attached addendum #1 to the above-mentioned Project. (4) pages including cover

This is posted on our website [www.rochesterhousing.org](http://www.rochesterhousing.org) under working with us, bidding opportunities. Print is on a 11 X 17 and cannot be faxed. If you would prefer to pick this up on 24X 36 from our office at 675 West Main Street Rochester NY 14611 Procurement, let us know and we will make you a copy.  
e-mail [kshort@rochesterhousing.org](mailto:kshort@rochesterhousing.org) and will make you a copy to pick up starting tomorrow morning.

**SEE ATTACHED**

**Acknowledgement:**

**I have received the above referenced Addendum #1, and have used it in the calculation/preparation of this bid.**

\_\_\_\_\_  
Contractor

**THIS MUST BE SUBMITTED WITH YOUR BID SUBMISSION**  
**FAILURE TO DO SO MAY RENDER YOUR BID INVALID.**

## Addendum No. 1

re Rochester Housing Authority  
Parking Lot Improvements - Elmdorf Apartments

from Konopka Architecture, PC  
1501 East Avenue, Suite 1  
Rochester, New York 14610  
585.271.3480 / 585.271.3586 fax [konopka@frontiernet.net](mailto:konopka@frontiernet.net)

date February 5, 2014

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This Addendum consists of three (3) pages including attachments, and forms part of the Contract Documents, and modifies the original Bidding Documents dated 01/10/2014 as noted below.

### GENERAL

A Work shall be done to minimize the length of time that the lot is not usable by the tenants. Work shall be staged such that the use of the parking area is maximized during the weekends.

### CHANGES TO DRAWINGS:

- A Drawing C1.0 - Site Plan;
- 1 General, note 7; Change to; *"The contractor shall be responsible for paying for all permits and fees."*
  - 2 MCPW - Rochester Pure Waters District Sewer Notes, Note 6; The video referenced in Demolition Scope, Note 7. can be used to fulfill the MCPW requirement.
  - 3 Add Addendum Drawing C1.0a;
    - a Update existing storm cleanout note to include installing a cleanout manhole for existing storm cleanout.
    - b Added linear footage of granite curb to be installed and/or replaced.
    - c Updated french drain connection note to include providing a manufactured fitting for connection.
    - d Added striping for additional Accessible Parking Spot and amended the callout.
- B Add Addendum Drawing C2.0a;
- 1 Reserved parking and Signage #6 detail to show existing site conditions
  - 2 Catch basin #9 modified to show 'Type C' catch basin as required by the City of Rochester.
- C Drawing C3.0 - Stair Replacement: Sections, Details and Notes;
- 1 Plan 1; Stair landings shall be sloped 2% away from the building.

### CHANGES TO SPECIFICATIONS: None

### ATTACHMENTS


- A C1.0a  
B C2.0a

End of Addendum No. 1

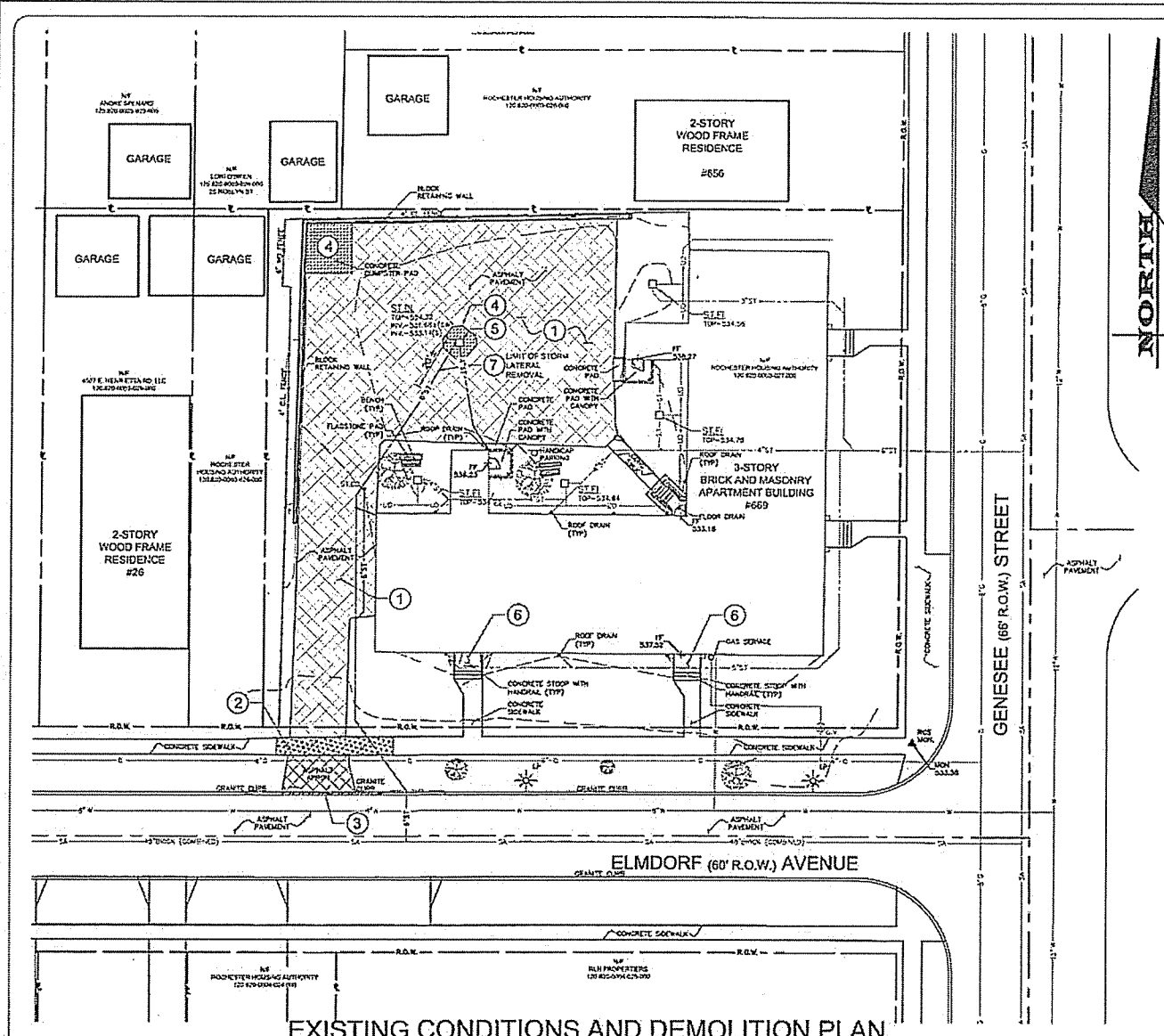
**PARKING AND STAIRWAY IMPROVEMENTS**  
FOR  
**ROCHESTER HOUSING AUTHORITY**  
**669 ELMENDORF AVENUE**  
STATE OF NEW YORK  
COUNTY OF MONROE  
CITY OF ROCHESTER

JOB NO: 0509-13  
SCALE: 1" = 20'  
DRAWN: PBG  
DESIGNED:  
DATE: 01/10/2014

DATE	BY	REVISION
2/5/2014	PG	COMMENTS FROM RHA AND CITY OF ROCHESTER

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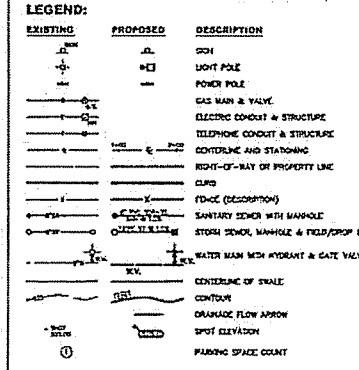
DRAWING TITLE:  
**SITE PLAN**  
1 of 3  
SHEET No: **C1.0A**  
JOB No: 0509-13  
DRAWING No:



**EXISTING CONDITIONS AND DEMOLITION PLAN**  
SCALE: 1" = 20'

**DEMOLITION SCOPE**

- EXISTING PAVEMENT** - EXISTING PAVEMENT TO BE SAW-CUT AT LOCATIONS NOTED AND REMOVED TO SUBGRADE.
- EXISTING SIDEWALK** - SAW-CUT AT NEAREST EXISTING FLAG AND REMOVE TO SUB-GRADE AT LIMITS SHOWN.
- CURBING** - REMOVE EXISTING CURBING TO LIMITS SHOWN. STORE ON SITE FOR RE-SETTING.
- CONCRETE** - REMOVE EXISTING CONCRETE PAVING TO SUB-GRADE AT LIMITS SHOWN.
- STORM DI** - REMOVE EXISTING STORM DI AND DISPOSE OFF-SITE IN LEGAL MANNER.
- CONCRETE STOOP** - REMOVE EXISTING CONCRETE STOOP, STAIRS AND HANDRAIL. DISPOSE OFF-SITE IN LEGAL MANNER.
- STORM LATERAL** - REMOVE EXISTING STORM LATERAL UP TO AND INCLUDING THE CRACKED SECTION OF CAST IRON PIPE (CIP). REFER TO VIDEO OF TELEVIEWED LATERAL (PERFORMED BY GATTI PLUMBING ON 11/20/14 AND AVAILABLE THROUGH MARATHON ENGINEERING).



**PROJECT STATISTICS**

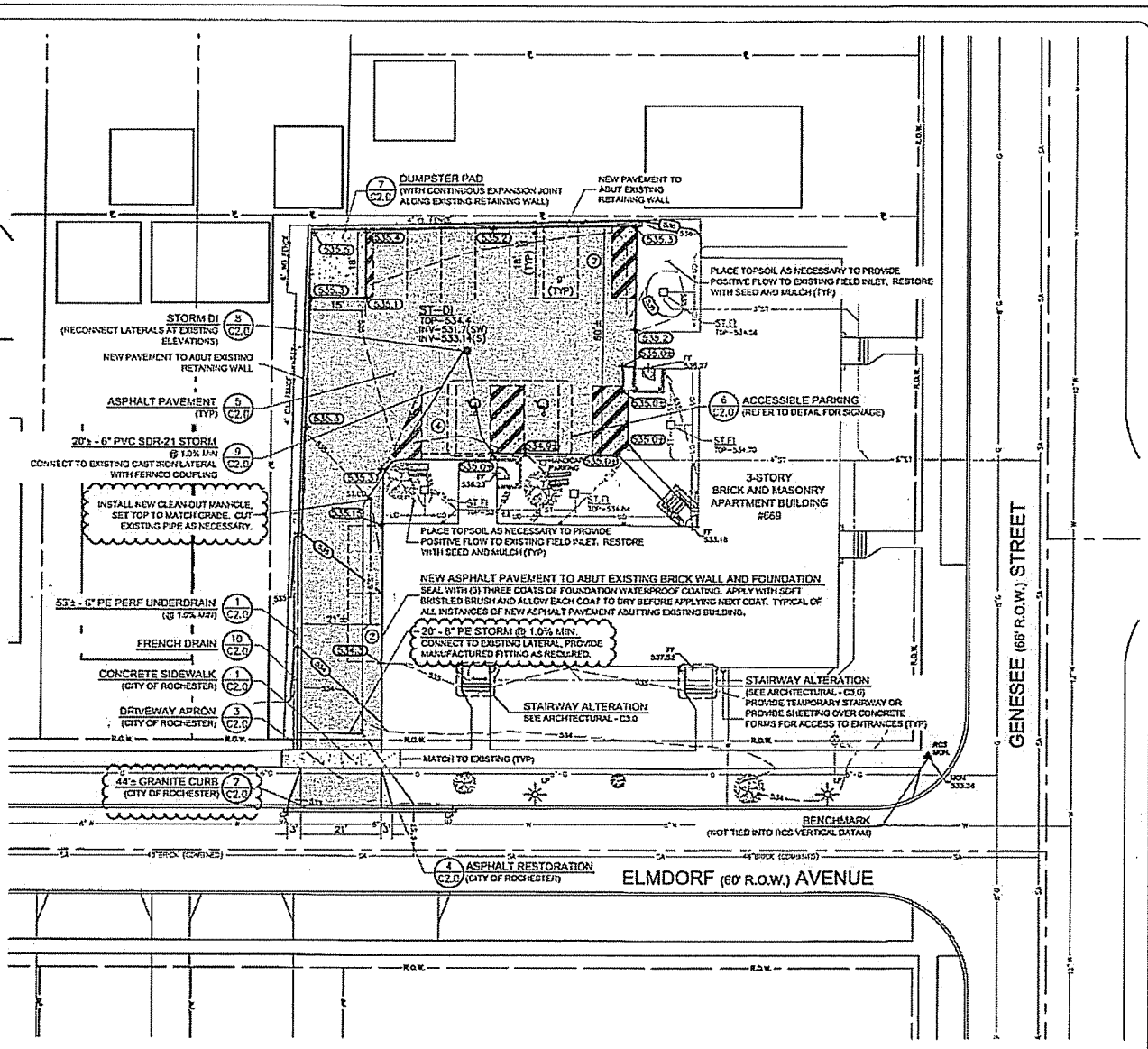
- 1.1 GENERAL:**
- PROPERTY OWNER** - ROCHESTER HOUSING AUTHORITY  
675 WEST MAIN ST  
ROCHESTER, NY 14611
  - PROPERTY ADDRESS** - 669 GENESEE ST.  
ROCHESTER, NEW YORK 14619
  - TAX ACCOUNT** - 120-020-0003-000
  - LOT SIZE** - 0.24 ACRES

**BASE MAPPING**

- MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW STRUCTURE.  
SANITARY AND STORM SEWERS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM ROCHESTER PURE WATER DISTRICT ON 12/20/2013.  
WATER SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM ROCHESTER WATER AUTHORITY ON 10/10/2013. UNDERGROUND GAS SERVICES AND MAINS WERE PLOTTED FROM RECORD MAPS RECEIVED FROM RGA ON 12/20/2013.
- STAKE-OUT** - THE CONTRACTOR SHALL NOTIFY BIG SAFETY NEW YORK (1-800-462-7942) FOR A UTILITY STAKE-OUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKE-OUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- BOUNDARY** - BOUNDARY INFORMATION WAS TAKEN FROM TAX MAP OBTAINED THROUGH APPLMAPPER.COM ON 12/18/2013 AND IS SHOWN FOR GRAPHICAL REPRESENTATION ONLY.
- TOPOGRAPHY** - TOPOGRAPHY HAS BEEN PLOTTED BASED ON INFORMATION GATHERED BY MARATHON ENGINEERING ON 12/24/2013. THE VERTICAL DATUM HAS BEEN SET USING THE RIM ELEVATION OF THE STORM DRAIN PILET CENTRAL TO THE PARKING LOT OF 609 ELMENDORF RD. THE RIM ELEVATION WAS OBTAINED FROM "EXTERIOR AND SITE IMPROVEMENTS - A1" PREPARED BY RICHARD ALFRED MAUSER ARCHITECTS, DATED 03/20/04.

**GENERAL**

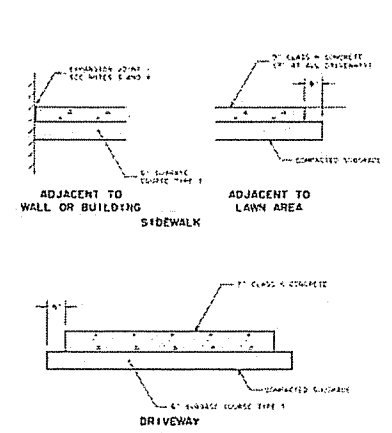
- PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALLS, LAWS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
- ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADSWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/REPAIRED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEPED CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNER'S ON-SITE REPRESENTATIVE. THE APPLICANT IS TO PAY PARTICULAR ATTENTION TO THE MAINTENANCE AND CLEARNESS OF THE BORDERING ROADS TO THE PROPERTY DURING THE CONSTRUCTION PHASE, TO THE SATISFACTION OF THE NYSDOT DEPARTMENT OF PUBLIC WORKS.



**LAYOUT, GRADING AND UTILITY PLAN**  
SCALE: 1" = 20'

**NOTES**

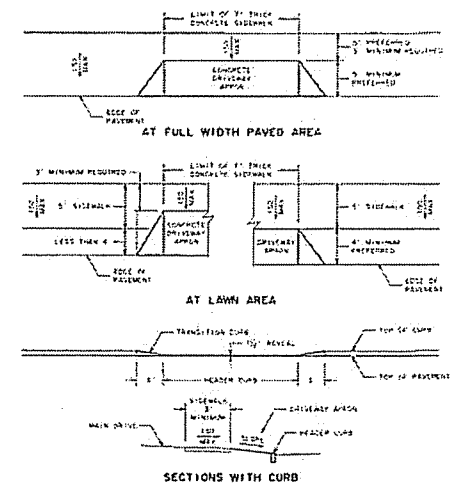
- STORAGE** - DURING CONSTRUCTION - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNER'S ON-SITE REPRESENTATIVE.  
POST CONSTRUCTION - THERE IS TO BE NO OUTSIDE STORAGE OF VEHICLES AND/OR MATERIALS PERMITTED ON THE PROPERTY.
- PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND ASSOCIATED FEES.
- LAYOUT** - DIMENSIONS SHOWN, WHERE APPLICABLE, SHALL BE FROM THE FACE OF CURB UNLESS SPECIFICALLY CALLED OUT OTHERWISE.
- CLOSE-OUT** - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE:  
- REMOVAL OF ANY CONSTRUCTION DEBRIS  
- CLEARING PAVEMENT AND WALKWAY SURFACES  
- RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS  
- COMPLETION OF FINAL FUNDING ITEMS
- WORK WITHIN THE RIGHT-OF-WAY** - ALL WORK WITHIN THE R.O.W. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- EARTHWORK**
  - PREPARATION** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:  
- SITE DEMOLITION - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; STRUCTURES, UTILITIES, PAVEMENTS, ETC.  
- TOPSOIL STRIPPING - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER.
  - RESPONSIBILITY** - THE CONTRACTOR IS RESPONSIBLE FOR:  
- ESTIMATE - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.  
- GRADE TOLERANCES - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.1') IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDREDTHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.  
- COMPACTION - ACHIEVING THE SPECIFIED MINIMUM COMPACTION VALUES FOR EMBANKMENT/CLAY AREAS. THE TERMS "FILL" AND EMBANKMENT ARE INTERCHANGEABLE.  
- CUTS - ONCE EXCAVATIONS ARE SHOWN TO THE DESIGN GRADIES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE NOT SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.
- TESTING** - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MOISTURE PROCTOR METHOD ASTM D-1557:  
- 95% UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS  
- 85% IN REMAINING AREAS  
THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND RESPONSIBILITY. THE REQUIREMENT FOR EMBANKMENT AREAS ONE PER 1,000 CUBIC YARDS.
- LIFT THICKNESS** - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.
- PROOF ROLLING** - THE OWNER'S REPRESENTATIVE MAY REQUEST A PROOF ROLL (I.E. LOADED TEN WHEELER) OF SUBGRADE AREAS PRIOR TO PLACEMENT OF SUBGRADE MATERIALS. AREAS THAT FAIL SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.
- STORM**
  - REGULATIONS** - STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF ROCHESTER PURE WATERS DISTRICT (RPWD).
  - ROOF DRAINAGE** - ALL ROOF DRAINAGE SHALL BE COLLECTED AND PIPED TO THE STORM SEWER SYSTEM UNLESS SPECIFIED OTHERWISE.
  - STORM LATERAL** - IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER AUTHORIZED AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL TO UTILIZE AN EXISTING LATERAL. VIDEO HAS BEEN OBTAINED BY GATTI PLUMBING ON 11/20/14, AND IS AVAILABLE THROUGH MARATHON ENGINEERING.



NOTES:

- MINIMUM CROSS-SLOPE OF CONCRETE SIDEWALK IS 1/8"
- ENTIRE AREA OF SIDEWALK ACCESS PAVES AND LANDINGS SHALL BE TO BE 7' FROM CURB FACE
- FOR EXPANSION JOINT USE 1/2" DIA. WIRE REINFORCED STAINLESS STEEL BRASS PLATE WITH 1/2" DIA. WIRE BRASS PLATE REINFORCING BARS AT 12" ON CENTER
- SEE DETAILS FOR 20' FOR NEAR CURB COMMERCIAL SIDEWALK PAVEMENT SECTION

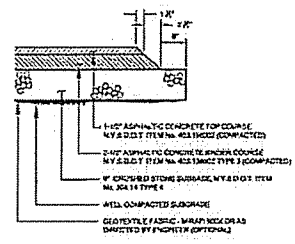
**1 CONCRETE SIDEWALK**



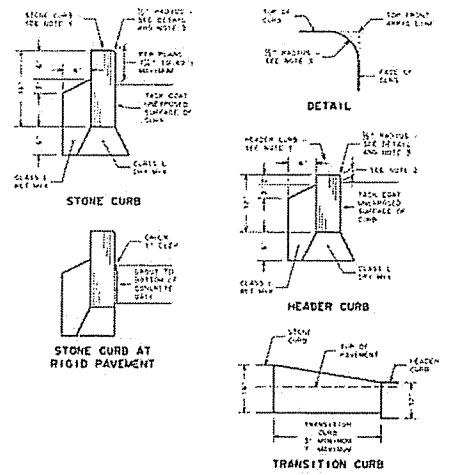
NOTES:

- NOMINAL RESISTENTIAL DRIVEWAY APRON WIDTH IS TO BE BETWEEN 10 FEET AND 12 FEET. FOR FINISHING EXPANSION JOINTS, ACTUAL WIDTH WILL BE AS APPROVED BY CITY.
- NOMINAL MINIMUM WIDTH OF COMMERCIAL DRIVEWAY APRON IS TO BE 20 FEET. ACTUAL WIDTH WILL BE AS APPROVED BY CITY.

**3 DRIVEWAY APRON**



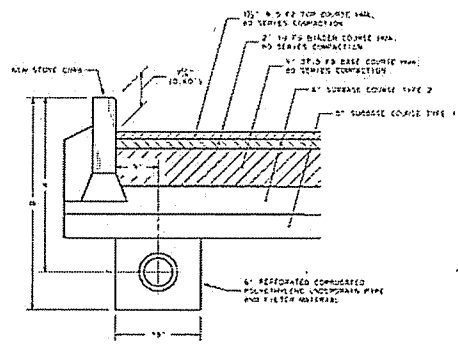
**5 PAVEMENT SECTION**



NOTES:

- CURB TO BE 18" TO 24" HIGH, OR AS REQUIRED IN CONTRACT DOCUMENTS
- FORM REVEAL FOR HEADER CURB AT DRIVEWAY APPROX 1/2" TO 1" MIN. AT SIDEWALK ACCESS PAVES TO NOT TO BE EXCEEDED
- HEADER CURB USED FOR SIDEWALK ACCESS PAVES TO NOT TO BE EXCEEDED

**2 STONE CURB**

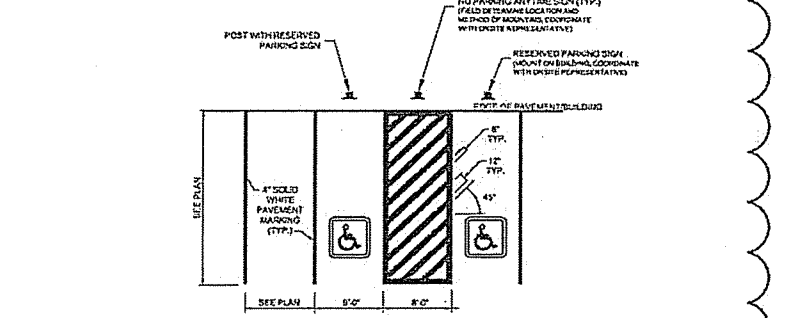
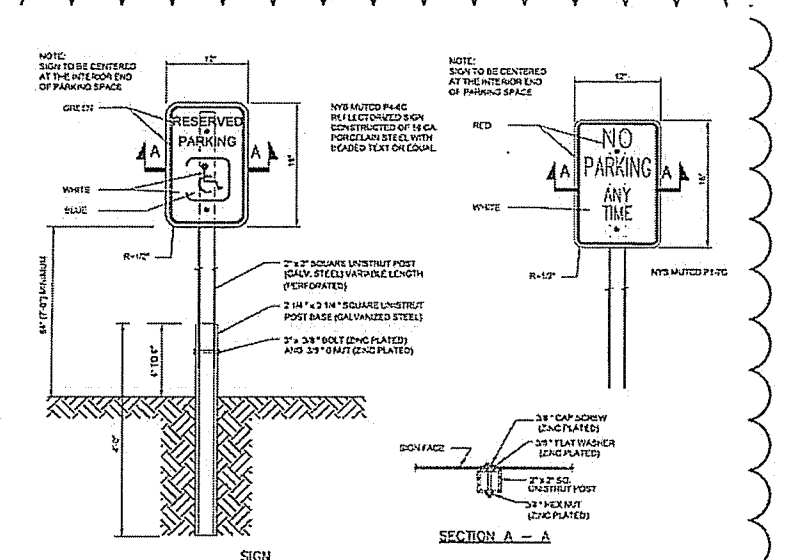


PAVEMENT SECTION	4\"/>
LIGHT DUTY	4\"/>
MODIFIED	4\"/>
HEAVY DUTY	4\"/>

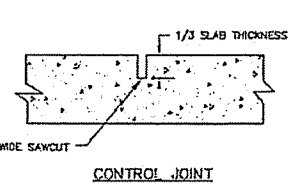
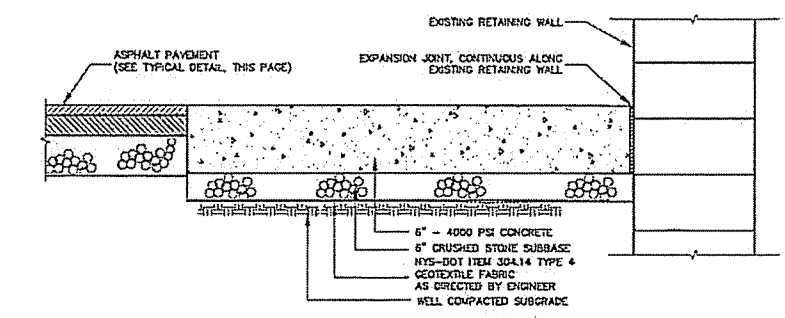
NOTES:

- PAVE COURSE IS TO BE ADJUSTED BETWEEN ALL TYPES OF PAVEMENT CURBS AND ON FACE OF CURB FINISHES CURB AND ASPHALT PAVEMENT

**4 PAVEMENT RESTORATION**

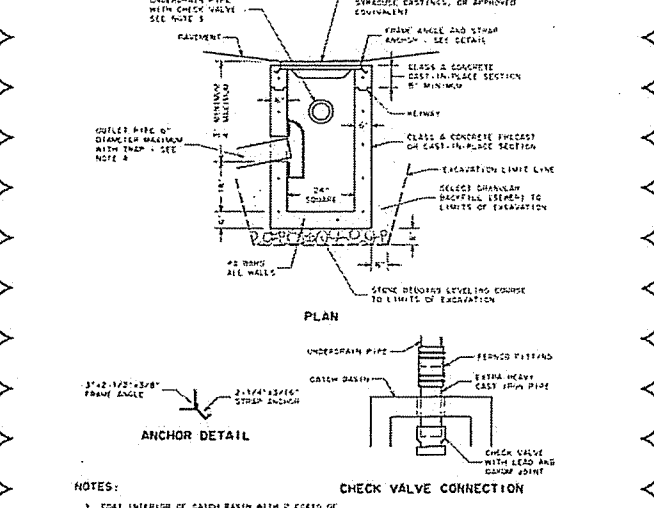


**6 RESERVED PARKING AND SIGNAGE**



**7 CONCRETE DUMPSTER PAD**

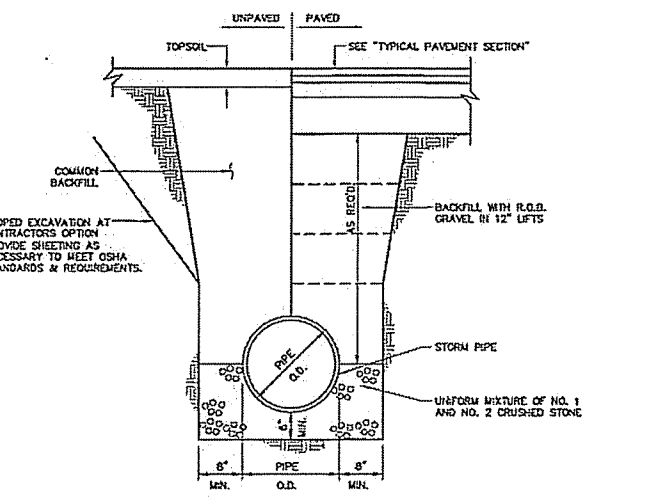
- CONCRETE PAVEMENT NOTES:**
- ISOLATION JOINTS TO BE CONSTRUCTED AT BUILDING, CURBS, AND FIXED OBJECTS.
  - CONTROL JOINTS TO BE MADE EVERY 12 FEET ON CENTER.
  - THE LARGER DIMENSION OF ANY PANEL SHALL NOT EXCEED 125% OF THE SMALLER DIMENSION.
  - SAW CUT CONTROL JOINTS TO 1/2 SLAB THICKNESS WITHIN 24 HOURS OF CONCRETE PLACEMENT.
  - ALL EXPOSED CONCRETE SURFACES TO RECEIVE A BROOKH FINISH.
  - ALL EXPOSED CONCRETE TO RECEIVE TWO COATS OF MEMBRANE FORMING SEALER.
  - CONCRETE SHALL ACHIEVE 4000 PSI COMPRESSIVE MINIMUM STRENGTH AT 28 DAYS.
  - CONCRETE SHALL HAVE AN AIR CONTENT OF 6.0 PERCENT ± 1.5 PERCENT.
  - CONCRETE SLUMP SHALL NOT EXCEED 4 INCHES.



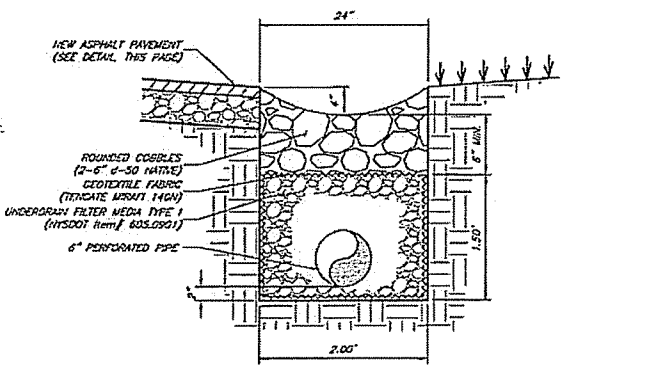
NOTES:

- COAT INTERIOR OF CATCH BASIN WITH 2 COATS OF FRAMP BRUSHAPPLY 240, OR APPROVED EQUIVALENT.
- LAST COAT OF FRAMP BRUSHAPPLY 240, OR APPROVED EQUIVALENT, TO BE APPLIED TO INTERIOR SURFACES OF CATCH BASIN, EXCEPT FOR INTERIOR SURFACES OF CHECK VALVE, OR APPROVED EQUIVALENT.
- INSTALL CHECK VALVE TO PREVENT WATER FROM FLOWING BACK INTO UNDERDRAIN PIPE.
- CATCH BASIN SHALL BE 18\"/>

**9 CATCH BASIN (TYPE C) (CITY OF ROCHESTER)**



**9 STORM TRENCH SOLID PIPE**



**10 FRENCH DRAIN**

**MARATHON ENGINEERING**  
39 CASCADE DRIVE  
ROCHESTER, NY 14614  
PHONE 585-458-7770  
www.marathoneng.com

**PARKING AND STAIRWAY IMPROVEMENTS FOR ROCHESTER HOUSING AUTHORITY**  
**669 ELMENDORF AVENUE**  
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2/5/2014	PG COMMENTS FROM RHA AND CITY OF ROCHESTER

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DRAWING TITLE:  
**CONSTRUCTION DETAILS**

2 of 3  
SHEET No: **C2.0A**  
JOB No: 0509-13  
DRAWING No: